

KELDERHOF

LANDSCAPE GUIDELINES

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1. FOREWORD

Kelderhof Country Village, situated approximately 30 minutes from Cape Town, intends to integrate community living with a country lifestyle. The 570 erven vary in size and type - thereby providing a range of options – but all enjoy panoramic views of the magnificent Helderberg and surrounding Faure vineyards. Depending on the type of erf selected residential building forms range from row houses to a variety of freestanding models – all reflecting contemporary Cape rural architecture. Typical homestead configurations include the Barn House, Courtyard House and Cottage House.

To fit within the rural context, all landscape and architectural development at Kelderhof Country Village should be planned with these design guidelines in mind. Private gardens, courtyards, boundary walls, fences and all other landscape details should contribute to the 'look and feel' of the estate as a whole, with an emphasis on 'place-making' rather than 'decoration'. The consistent application of this rationale from the public areas right through to the private erven will establish a unique Kelderhof Country Village 'sense of place'.

2. PURPOSE OF GUIDELINES

This document outlines the responsibilities of each homeowner concerning the landscape and environmental quality of private and semi-private open spaces: including back gardens, pergolas, courtyards, front gardens and street interfaces. These spaces form integral parts of the whole, contributing to the visual and aesthetic continuity of the entire public realm; thereby enhancing the Kelderhof Country Village 'sense of place'.

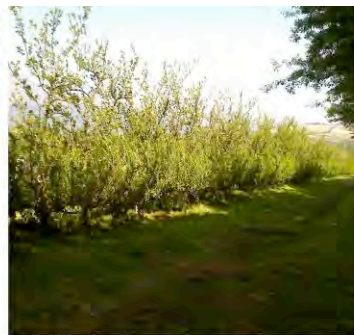
This document further guides homeowners in making specific landscape and architectural design decisions for their private gardens and the interface between the private erf and public environment. It recommends appropriate types of 'hard' landscape (i.e. built) elements and 'soft' landscape (i.e. planted) elements. This covers appropriate colours, textures, sizes, surface materials, as well as the climatically suitable water-wise plant species.

3. LANDSCAPE PRINCIPLES and LANDSCAPING BY DEVELOPER

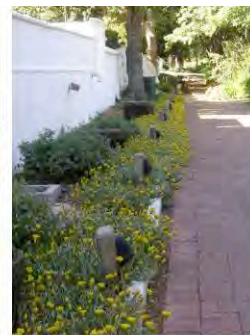
- Sustaining a consistently high-quality spatial living environment
- Promoting the use of indigenous water-wise plant species for gardening purposes
- Reflecting the rural character of the estate and surrounding context within the landscaping of each individual erf
- Articulating an integrated system of entry points, roadways, pathways, parking courts, street frontages
- Providing generous open spaces appropriately orientated for optimum sunlight absorption and sufficiently screened for wind shelter.
- Shading, screening, and general micro-climate controlling along public interface streets.
- In addition to the public parks, pedestrian pathways and entrance planting, the developer has been responsible for the street tree planting around public spaces. To strengthen this initial street-scaping; residents and homeowners are requested to plant trees as per the Street Tree Plan (Annexure A). In this way, each street will become characterised by a particular tree species; adding to the identity of place.



Timber pergolas planted with creepers or vines can help to break down the scale of the development



Vines can also be planted in private gardens creating a rural village character



Low indigenous shrub border with low level discrete lighting along pathway



Informal Lavender shrub border edging gravel pathway

4. HOUSING TYPOLOGIES and STREET CONDITIONS – Site Planning

- The building guidelines maintain an architecture that is sympathetic to the surrounding rural landscape and vineyard context.
- This architecture represents a contemporary interpretation of traditional Cape farm buildings.
- Certain streets are defined by row-houses sited on narrow erven; proportioned to create rural ‘village street’ conditions.
- Other streets are characterised by freestanding courtyard houses and cottages accommodated on larger erven; spaced to create ‘country road’ conditions.
- Private courtyards and pergolas help to reduce the perceived scale of the overall development by breaking-down built-form; thereby helping to integrate Kelderhof with the surrounding rural landscape.
- Each individual erf must accommodate at least one tree along its street edge. This tree, planted on pavements, where possible, i.e. where pavements are 2m or wider. This is to facilitate the “country lane” feeling of the Estate. Where pavements are narrower than 2m, trees are to be planted within the site boundaries.
- The position of the tree is dependent on the extent of street frontage, underground services and driveways.
- Plant the correct tree species, size and spacing as per the landscape plan - to create a continuous streetscape.
- Place trees to give maximum protection from wind.



5. EXTERNAL BUILT ELEMENTS

5.1 Boundary walls (refer to Architectural Guidelines)

- Use **boundary walls** to create a coherent streetscape: therefore treat all boundary walls with similar details, colours, textures, copings and heights.
- Low '**werf walls**' (with a max height of 1m) are encouraged to define the edges of entranceways and erf boundaries on the street edge.
- Only use 1.8m high walls for screening of service areas, drying yards and swimming pools. These 1.8m high walls must be set back (minimum 2m) from the street edge.
- Street edge walls are to be low werf walls – 600mm to 1000mm, buttressed and articulated where necessary for stability

Different walling conditions apply to the boundaries of the various housing typologies, appropriate to the size and proportions of the erven:

- a) **Barn house and cottage house:** 1.8m maximum height walls are permitted along a maximum 60% of the street edge, with minimum 20% of this wall set back 2m to 4m from the street boundary line. Enclose the remainder of the site with low werf walls (1m maximum height).
- b) **L-shape / Courtyard house:** Street-edge werf walls may not exceed 1m maximum height. Side and back walls are to maximum 1.8m height.
- c) **Row house:** Only low werf walls (1m maximum height) permitted along the street edge, for the continuity of the streetscape.
- Design details are to form part of the specifications list provided within the control documentation.

5.2 Retaining Walls / Steps / Ramps within property boundaries

- Use low retaining walls (maximum 1.2 m height) to accommodate level changes. No single retaining wall shall exceed 1.2 m height.
- Use a series of terraced retaining walls to support level changes in excess of 1.2 m. Each terrace level should be at least 1.0 m wide.
- Stone-faced, stone-clad, or dry-packed stone walls (using natural stone) are encouraged, however plastered and painted walls (suitably waterproofed) are permissible.
- Organic / free form and terraforce retaining walls are not permitted. Use only simple rectilinear (square and rectangular) forms to create terraces.
- All steps and ramps are subject to the existing paved materials palette used for roadways and sidewalks (exposed aggregate concrete pavers, laterite gravel, cobbles, clay brick).
- Colours may vary within a reasonable range.

5.3 Pergolas and covered roofs

- Use timber pergolas for sun protection, to define open spaces, to frame internal courtyards and to create shelter and screening for carport areas.
- The design of these elements should be simple rectangular forms to clip onto the simple rectangular forms of the different housing typologies.
- Use creepers, climbers and vines to vegetate pergola structures and shade the courtyard areas (refer to attached plant list).

5.4 Swimming Pools and Reflections Pools, Fountains

- The design of all swimming pools should reflect the 'rural-contemporary' architecture of the estate (i.e. Formal square and rectangular geometry is preferred to organic / kidney shaped forms).
- Filter backwash outlets must meet with the requirements stipulated by Local Authority regulations: backwash water may not discharge into roadways.
- Screen swimming pool pumps from public view using werf walls or hedges; pool pump placement is subject to approval by the Design Review Committee.
- Swimming pool fences need Home Owners Association and Design Review Committee approval. The use of artificial rock is prohibited.

5.5 Signage and Numbering



- Use *Helvetica* font for signage (see text sample above).



- Use above samples (found at Builders Warehouse) for numbering.
- Attach signage and numbering to external walls of each house wherever possible.
- Wall-mounted signage is preferred; thus pole-mounted signage prohibited.
- Ensure that signage visible, but unobtrusive - to avoid visual clutter.
- All signage and freestanding elements require Home Owners Association and Design Review Committee approval prior to installation.
- Use either wall-mounted or pole-mounted wooden rectangular letter-boxes of maximum size 400 x 400 x 150 mm.

5.6 Lighting

- Keep lighting to a minimum, to maintain the rural character of the estate. Inappropriate and excessive lighting has a negative visual impact on the environment, and wastes electricity. Illuminate only that which is necessary for safety purposes.
- For external lighting, use only down-lighters properly shielded to minimize light spillage beyond the extent of the area requiring illumination.
- Wall-mounted lighting is encouraged, especially at driveways and entrance gateways.
- Avoid excessively tall post-top lights.
- From outside the estate, only reflected or shielded light should be visible. No direct light should be visible.

5.7 Paving & Pedestrian paths

- Plant shade trees along pedestrian paths wherever possible.
- Paving layouts should be designed using consistent materials and patterns in order to achieve a unique identity for the Kelderhof Estate.
- Use a single material to define edges so that there is continuity between different surface areas.
- Subtle variations in colour and texture can provide character, richness and a sense of scale to the estate.
- Generous pedestrian linkages along wide treed streets will help to create a rural character.

5.8 General

- No vibacrete, razor wire, wire mesh, barbed-wire or spikes permitted.
- No concrete retaining blocks, such as 'Terraforce' or artificial rock permitted.
- Dust bins, washing lines and storage areas must not be visible from the roads, public open space or other erven.
- No protruding radio/TV aerials or satellite TV dishes must be visible from the public areas. Solar heating panels are encouraged but should be flush with the roof.

6. HARD SURFACING

- Conform all paving materials to the approved list provided below, creating a coherent overall character of the estate.
- Driveway paving must be consistent with roadways.
- Do not use any plain grey concrete slabs or circular concrete slabs.
- Paved courtyards can create interest by the use of attractive hard surfacing materials, such as brick, gravel, stone and slate.
- Use crushed stone with an aggregate size of between 13 – 19mm as an alternative to hard paving.
- Use loose-packed bricks wherever possible to allow for natural penetration of water.

Listed below are acceptable paving options:

- Clay brick, Exposed aggregate in-situ paving and unit pavers.
 - Natural stone or slate.
 - Crushed stone on sub-base.
-
- Submit all proposed paving materials, colours and bonding pattern designs to the Design Review Committee for approval prior to ordering and installing.



Kirstenbosch Gardens - Autumn blend exposed aggregate paver with a smooth brick double band edge. Variations of this natural colour would be appropriate for hard landscaped areas within the residential fabric.

7. GARDEN ELEMENTS

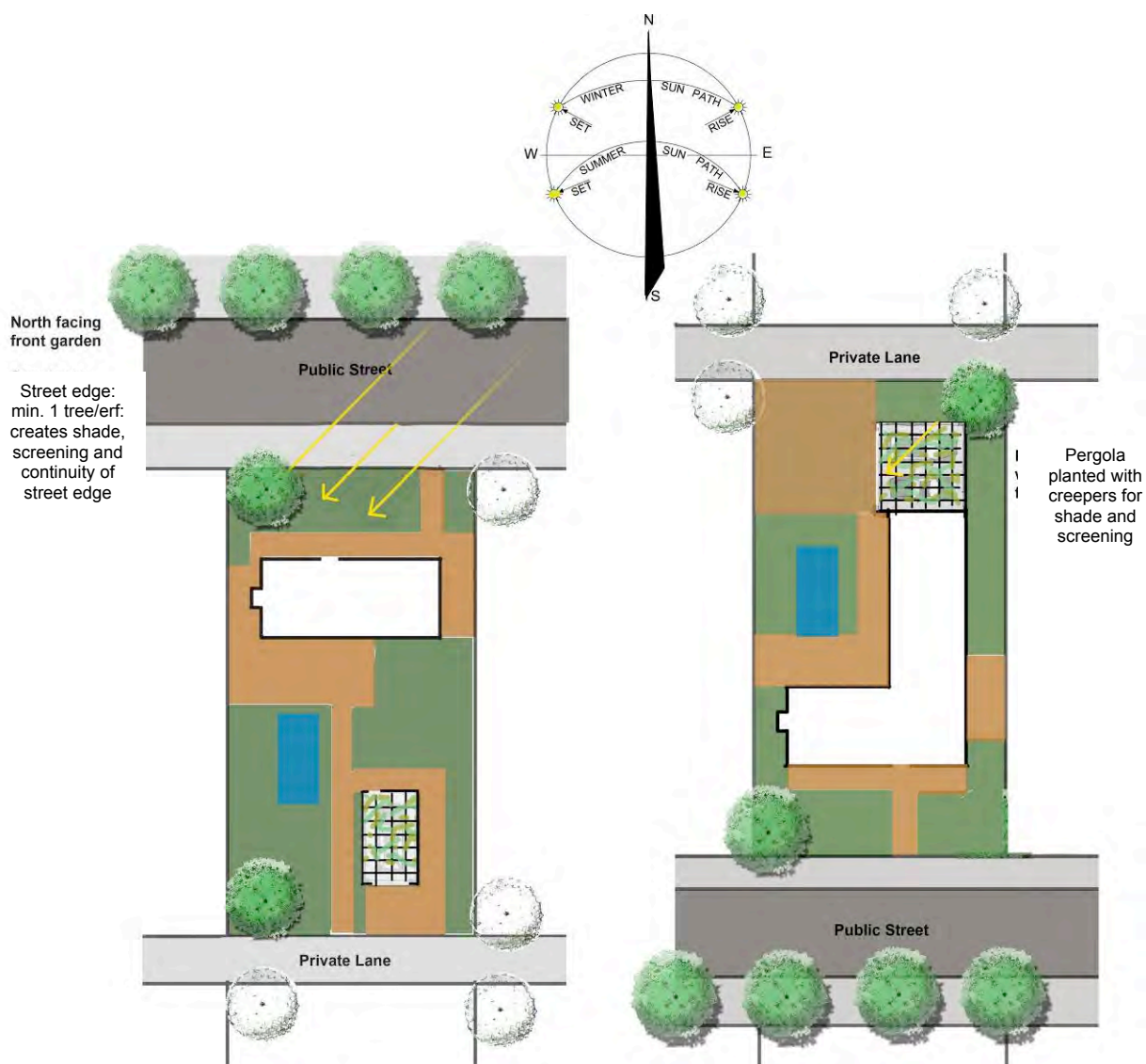
- Choose garden elements (such as garden furniture, pots, benches, birdbaths, fountains, railings etc) to enhance the character of gardens and buildings and submit all proposals to the Architectural Review Committee for approval.
- All outdoor furniture visible from the road should have a common language of design, size and height.
- To avoid visual clutter (too many elements competing for attention) be selective and strategic with the placement of garden elements.

8. SITE WORKS

- Cover all building materials to prevent wind-blown dust, sand and litter from the site during construction.
- Building rubble or materials may not be stored on public land during construction. Construction material must be stored in demarcated areas only.
- No dumping or burying of rubble is allowed

9. PLANTING PRINCIPLES and TYPOLOGIES – Private and Public

- A recommended plant list is provided, incorporating indigenous and water-wise species suitable for individual erven and private gardens.
- Plant trees from the plant list along the street edge of private erven, as per the Street Tree Plan. These trees should be at least 2.0 m high when planted.
- Use planting to provide unifying order to the environment by planting the same tree species and continuous shrub borders in areas visible from roadways.
- Fruit trees and vines are encouraged within erf boundaries to enhance the authenticity of the rural. The maintenance of the landscaped areas on private erven is the responsibility of each homeowner.

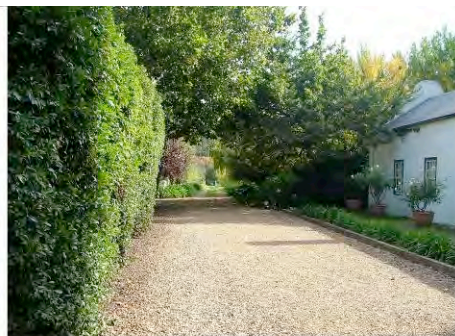


9.1 Road Reserve planting: (in front of individual erven)

- Homeowners are required to landscape the sidewalk / road reserve areas immediately in front of their properties.
- Homeowners are responsible for the irrigation maintenance of all landscaping directly in front of their properties (between the boundary wall and kerb).
- Plant roadsides, sidewalks or embankments with trees shrubs and groundcovers indicated in the recommended plant list.
- Size and type should be largely determined by street orientation (north/south); continuity of street edge character (refer to the Street Tree Plan).
- Deciduous trees on north facing streets are encouraged as they allow greater sunlight penetration in winter (when they lose their leaves).



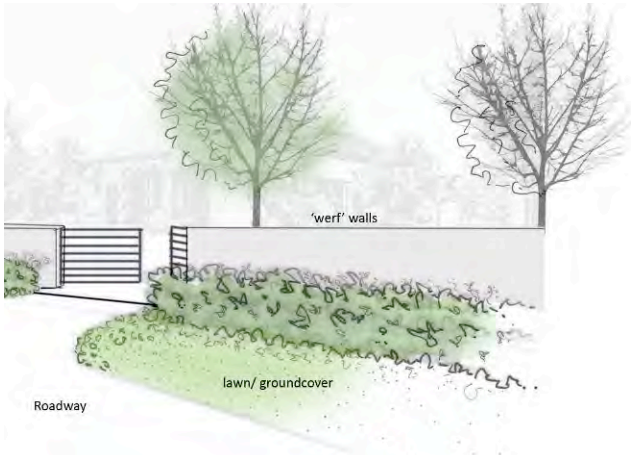
Low 'werf' type wall with indigenous shrub planting



Creeper used to create a dense hedge with a traditional gravel pathway characteristic of Cape Farmsteads



Low 'werf' wall edged with agapanthus and watsonia - this tiered shrub planting would be appropriate along public street property boundaries



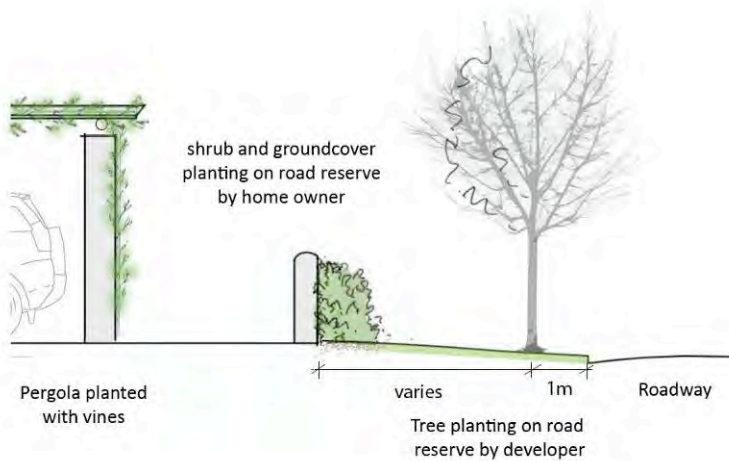
Tree planting within private erf.
Trees setback 1m from boundary walls,
refer to Street Tree Plan for tree species

Sidewalk planting by home owner.
Shrub planting 1m width in front of
werf wall, with lawn or groundcover
planted up to road edge

Above: Perspective: Private Erf/Public Street interface: Tree planted within private erf



Above: Typical Section: Private Erf/Public Street interface: Tree planted within private erf



Above: Typical Section: Private Erf/Public Street interface: Tree Planted within road reserve

9.2 Private gardens

- The approved plant species list below will assist individual homeowners in selecting plants for private gardens.
- Plant at least one tree per erf to contribute to the streetscape of the estate.
To create continuity of avenues, the tree type, size and position must be the same as neighbouring erven (refer to Street Tree Plan for species per street).
- Trees must be at least two metres high on planting.
- The maintenance of the private garden is the responsibility of the homeowner.
- Water-wise, indigenous gardens are encouraged.
- Plant vines and fruit trees in small orchards to reflect the rural context of the estate
- Properties with a street frontage of 7.0 m should plant a minimum of one tree on the public street edge.
- Properties with a street frontage of more than 7.0 m should plant a minimum of two trees on the public street boundary.

9.3 Irrigation

- Irrigation systems should be inconspicuous and efficient.
- Greywater recycling systems are encouraged for irrigation purposes.
- Rainwater collection tanks are encouraged for irrigation purposes.
- Drip irrigation systems are encouraged for more efficient water usage.
- Time irrigation to avoid wasteful evaporation: do not irrigate during the hottest time of the day; rather irrigate during the early hours of the morning.

9.4 General Planting Preparation

- Mix 1 part compost to 3 parts in-situ soil (recommended).
- For all areas to be planted test the soil for any deficiencies.
- Should any deficiencies occur, use only organic fertilizers to improve soil quality.
- Apply mulch (wood chip layer or equivalent) 50mm thick to the soil surface after planting. This helps to reduce water evaporation, moderate soil temperatures, smother weed growth and provide additional nutrients.

9.5 Lawn areas: preparation

- Rake prepared area to desired contours and levels
- Moisten surface of the topsoil mix with a fine-spray hosepipe
- Lay the grass sods on top, or plant grass plugs, or seed
- Compress lightly to even out grass sods
- Water well with a fine-spray hosepipe

9.6 Shrub and groundcover planting areas: preparation

- Excavate hole in topsoil mix
- Remove the plant from its container, maintaining the potting soil around its roots
- Dust the plant's root-ball with bone meal
- Place plant in hole, top of root-ball to be level with finished ground level
- Backfill and lightly compress topsoil mix
- Spread 50mm layer of mulch on top
- Water well with hosepipe directly after planting

9.7 Tree planting: preparation

- Remove the tree from its container
- Dust tree root-ball with bonemeal
- Dig tree hole – generally 1m deep and 1m wide (wider and deeper for bigger trees)
- Place tree in hole, with the top of root ball level with finished ground level
- Continue backfilling topsoil mix in layers around the rootball to stabilize
- Compress topsoil mix well and spread a 50mm layer of mulch on top
- Irrigate thoroughly with hosepipe directly after planting
- Brace all newly planted trees in position with upright stakes. Fasten the tree to the stake with ties, and adjust regularly (as the tree grows) to prevent stem damage.

9.8 Pruning of trees and large shrubs

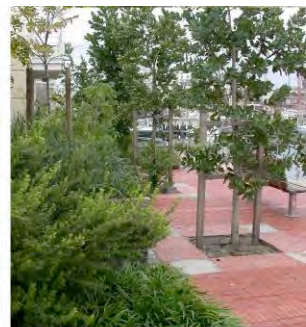
- Limit the degree of pruning to the minimum necessary to remove dead or injured branches, to compensate for the loss of roots due to transplanting, and to maintain good form for shade trees.
- Remove no more than (maximum) 1/3 of the wood by thinning or shortening of branches. Pruning should be done carefully to preserve the natural character and growth form of the plants (avoid lopping, pollarding, etc)
- Tree pruning tools must be properly sterilized, and all cuts must be clean and flush, leaving no stubs. Trace all cuts, bruises or scars on bark back to living tissue and remove. Careful, selective pruning undertaken by a tree surgeon is advised for larger trees
- Cut and branches to be removed just below the collar (the prominent 'swelling' on the underside of the branch), but do not cut into the collar. This would cause die-back into the trunk which could allow insect or pathogen infestations.
- Trees naturally heal themselves after pruning by producing wound-response wood. Do not apply any wound sealing products, as these may in fact seal infections into the tree. There is less chance of damage to the pruned tree (or shrub) if left to its own natural healing process.



Formal hedge with lower informal edge planting - adjacent to walkway. This layering of planting is suitable to create environments scaled to pedestrian proportions.



Low walled planter with *Carissa macrocarpa*



Tree planting in paving – staked appropriately within a 1mx1m tree hole



Cape vernacular pergola planted with ornamental grape vines

10. RECOMMENDED PLANT LIST

The plant species listed below fulfil the selection criteria: being largely water wise, indigenous and aesthetically appropriate for the Kelderhof Estate. Certain non-invasive exotic plant species are included, as these may be used (were necessary) to compliment the rural character of the estate.

BOTANICAL NAME

COMMON NAME

TREES

<i>Celtis Sinensis</i>	Chinese Popular
<i>Combretum Erythrophyllum</i>	Water Pear
<i>Nuxia Floridunda</i>	
<i>Olea Europea subsp.</i>	Africana Wild Olive
<i>Syzigium Quineense</i>	River Bush willow
<i>Populus Simonii</i>	Chinese Nettle

SHRUBS

<i>Abelia Grandiflora</i>	Glossy Abelia
<i>Carissa macrocarpa</i>	Num-Num
<i>Coleonema album</i>	Cape May
<i>Chondropetalum Tectorum</i>	
<i>Hypoestes Aristata</i>	Ribbon Bush
<i>Plumbago species</i>	Cape Leadwort
<i>Salvia Leucantha</i>	
<i>Tecoma Capensis 'coccinea'</i>	Cape Honeysuckle 'Red'
<i>Tecoma Capensis 'lutea'</i>	Cape Honeysuckle 'Orange'
<i>Tecoma Capensis 'salmon'</i>	Cape Honeysuckle 'Salmon'
<i>Viburnum Species</i>	
<i>Westringia Species</i>	

GROUND COVERS

<i>Artotus Species</i>
<i>Carpobrotus Edulis</i>
<i>Convolvulus</i>
<i>Gazania Species</i>
<i>Lampranthus Species</i>
<i>Osteopernum species</i>
<i>Scabiosa</i>

CLIMBERS, CREEPERS and VINES

<i>Bougainvillea spp</i>	Bougainvillea
<i>Parthenocissus tricuspidata</i>	Japanese creeper
<i>Rhoicissus tomentosa</i>	Wild Grape
<i>Trachelospermum jasminoides</i>	Virginia Creeper
<i>Senecio macroglossus</i>	Flowering Ivy
<i>Vitis coignetiae</i>	Star Jasmine
<i>Wisteria sinensis (Blue & White)</i>	Ornamental grape

RESTIOS and GRASSES

<i>Chondropetalum tectorum</i>	Thatching Reed
<i>Cynodon dactylon</i>	Couch grass
<i>Stenotaphrum secundatum</i>	Buffalo Grass
<i>Thamnochortus insignis</i>	Albertinia Dekriet

Note: This list serves as a guideline. Other indigenous species, especially those endemic to the Western Cape, (though not listed here), may also be used.

RECOMMENDED TREE SPECIES (1)

Acacia Sieberana – Paper Bark (15- 25m)



Acacia xanthophloea - Fever Tree (15 – 25m)



Celtis Africana – Stinkwood (12m)



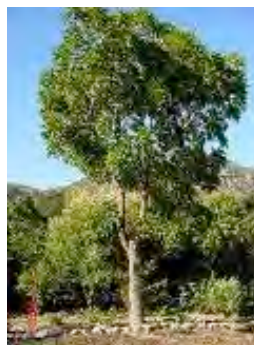
Combretum Erythyophllum – Bush Willow (4 – 6m)



Curtisia Dentata – Assegai Tree (15m)



Ekebergia Capensis – Cape Ash (15m)



Harpephyllum Caffrum – Wild Plum (15m)



Ilex Mitis - Cape Holly (10 – 25m)



RECOMMENDED TREE SPECIES (2)

Kiggelaria Africana – Wild Peach (20m)



Olea Europea Africana – Wild Olive (12m)



Pittosporum Viridiflorum – Cheesewood (15m)



Rapanea Melonophloea – Cape Beach (18m)



Searsia Lancea – Karee (7m)



RECOMMENDED SHRUBS and GROUNDCOVERS (1)

Tecoma Capensis – Cape Honeysuckle (Red, orange & salmon)



Plumbago - Cape Leadwort (Blue & white)



Westringia (Blue & white)



Abelia Grandiflora – Glossy Abelia



RECOMMENDED SHRUBS and GROUNDCOVERS (2)

Coleonema Album – Cape May



Hypoestes Aristata – Ribbon Bush



Viburnum Tinus



Chondropetalum Tectorum



RECOMMENDED SHRUBS and GROUNDCOVERS (3)

Osteoernum



Artotus



Gazania



Lampranthus - Vygie



RESTIOS and GRASSES

Chondropetalum tectorum - Thatching Reed



Cynodon dactylon - Couch grass



Thamnochortus insignis - Albertinia Dekriet



Stenotaphrum secundatum - Buffalo Grass

